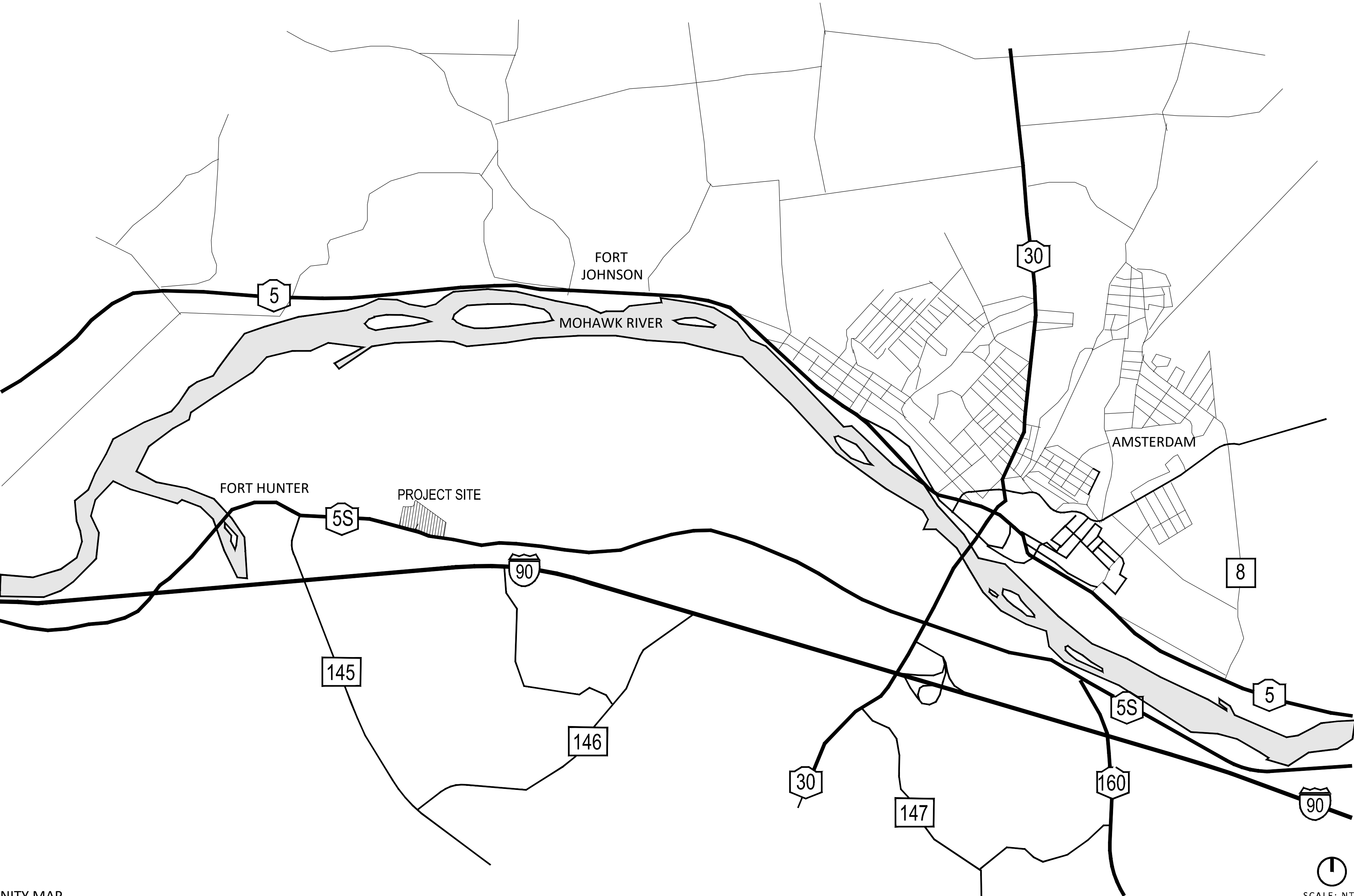




LOCATION MAP

SCALE: 1" = 250'



VICINITY MAP

SCALE: NTS

# COLD STORAGE DISTRIBUTION CENTER

DOLLAR GENERAL FRESH  
AMSTERDAM, NEW YORK

SITE PLAN REVIEW  
SEPTEMBER 1, 2022

DOLLAR GENERAL

DOLLAR GENERAL  
CORPORATION  
100 MISSION RIDGE  
GOODLETTSVILLE, TN 37072

PROJECT

COLD STORAGE  
WAREHOUSE  
20XX NY HWY 55  
AMSTERDAM, NEW YORK

SHEET INDEX

SITE PLAN  
REVIEW  
09/01/2022

ISSUE	DATE
SITE PLAN REVIEW	09/01/2022

Elan  
DESIGN LAB  
Civil Engineering | Landscape Architecture  
310 S 4TH AVENUE, SUITE 1006  
MINNEAPOLIS, MN 55415  
p 612.260.7980  
f 612.260.7990 | www.elanlab.com

CERTIFICATION



UNAUTHORIZED ALTERATION OR  
ADDITION TO ENGINEERING TECHNICAL  
DOCUMENTS BEARING A LICENSED  
PROFESSIONAL ENGINEER'S SEAL IS A  
VIOLATION OF CHAPTER 16, TITLE VIII,  
ARTICLE 145 § 7209.2 OF THE NEW YORK  
STATE EDUCATION LAW.

SHEET

COVER SHEET  
C-000

PROJECT NO:  
DGC20025

PROJECT CONTACTS

OWNER	DOLLAR GENERAL 100 MISSION RIDGE GOODLETTSVILLE, TN 37072	KACEY LEVINE T (404) 309-9846 KLEVINE@DOLLARGENERAL.COM
CIVIL ENGINEER	ELAN DESIGN LAB, INC. 310 4TH AVENUE S, SUITE 1006 MINNEAPOLIS, MN 55415	MARCIE WESLOCK, PE T (612) 260-7981 MWESLOCK@ELANLAB.COM
LAND SURVEYOR	SUSAN M. ANACKER, PLS, PLLC 11062 DAVIS ROAD EAST DEERFIELD, NY 13502	SUSAN ANACKER, PLS T (315) 724-6800
CONTRACTOR	CLAYCO, INC. 2195 INNERBELT BUSINESS CENTER DRIVE ST. LOUIS, MO 63114	DARREN LACKEY T (312) 239-1282 LACKEYD@CLAYCO.COM
PLANNING BOARD	TOWN OF FLORIDA 214 FORT HUNTER RD AMSTERDAM, NY 12010	MIKE TAYLOR T (518) 729-8090
BUILDING DEPARTMENT	TOWN OF FLORIDA 214 FORT HUNTER RD AMSTERDAM, NY 12010	T (518) 843-6372

SHEET INDEX

SHT NO.	SHEET TITLE	ISSUED FOR REFERENCE ONLY ISSUED
C-000	COVER SHEET	
C-001	ALTA SURVEY - SHEET 1 OF 2	
C-002	ALTA SURVEY - SHEET 2 OF 2	
C-010	EXISTING CONDITIONS AND DEMOLITION PLAN	
C-101	SITE PLAN	
C-201	GRADING PLAN	
C-211	EROSION & SEDIMENT CONTROL PLAN	
C-301	UTILITY PLAN	
L-101	LANDSCAPE PLAN	

PROJECT

COLD STORAGE  
WAREHOUSE  
20XX NY HWY 55  
AMSTERDAM, NEW YORK

SHEET INDEX

SITE PLAN  
REVIEW  
09/01/2022ISSUE DATE  
SITE PLAN REVIEW 09/01/2022

CERTIFICATION

NOT FOR  
CONSTRUCTIONUNAUTHORIZED ALTERATION OR  
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ARTICLE 145 § 7209.2 OF THE NEW YORK  
STATE EDUCATION LAW.

SHEET

ALTA SURVEY  
SHEET 1 OF 2

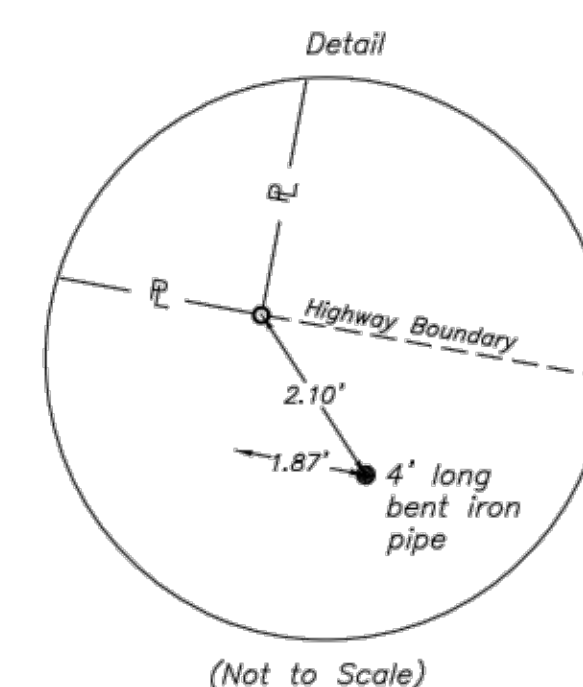
C-001

PROJECT NO.  
DGC20025

## MAP REFERENCES

1. "Fultonville-Amsterdam, Pt. 2, Map No. 10 A,B", by New York State Department of Public Works, dated April 30, 1928 and on file in the New York State Department of Transportation Region 2, Utica, N.Y.
2. "Map Showing Proposed Subdivision Lands N/F Carl E. Gottier L.663, P.277 & Lands N/F Montgomery County Industrial Development Agency L.1655, P.75", by ABD Engineers, Surveyors, dated March 23, 2009.
3. "Survey Map of Lands of Douglas C. Joann Burroughs, As Trustees of the Burroughs Family Irrevocable Trust", by Ferguson & Foss, Professional Land Surveyors, PC, dated July 10, 2012.
4. "Subdivision Plot, Florida Business Park Extension, NYS Route 55", by Ingalls & Associates, LLP, Engineering, Environmental, Surveying, dated October 3, 2018.

LINE	BEARING	DISTANCE
L1	S 75° 58' 35" E	63.93'
L2	S 83° 02' 39" E	51.45'
L3	N 66° 13' 24" E	56.10'
L4	N 48° 59' 49" E	43.87'



(Not to Scale)

## DEED REFERENCE

Montgomery County Industrial Development Agency  
Instrument Number 2009-00032873  
Dated June 11, 2009  
Recorded June 11, 2009

## LEGEND

- Set Capped Iron Rod to be set
- Found Iron Pipe
- Found Capped Rod (Ferguson & Foss)
- Barbed Wire Fence Line
- Tree Line / Edge of Woods
- Utility Pole with Overhead Wires
- Utility Pole Anchor
- Overhead Utility Wires
- Electric Box
- Fire Hydrant
- Water Shutoff
- Water Valve
- Sanitary Sewer Manhole
- Direction of Flow
- Underground Gas Marker
- Property Line
- Centerline (existing)
- Record Measurement in Deed
- Measurement in Field
- Concrete
- Fence Post
- Soil Boring
- E.O.P. Edge of Pavement
- Wetland Flag
- Approximate Location of Underground Gas Line
- Approximate Location of Underground Electric Line
- Approximate Location of Underground Sewer Lateral
- Approximate Location of Underground 10" Water Line

ALTA/NSPS  
Land Title Surveyof property of  
MONTGOMERY COUNTY  
INDUSTRIAL DEVELOPMENT AGENCY

T.M. #54-2-2.31 (part of)

TOWN OF FLORIDA, COUNTY OF MONTGOMERY

STATE OF NEW YORK

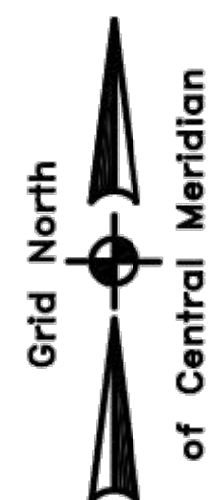
Dated: April 25, 2022

Scale: 1" = 80'

Drawn By: Katrina Talbot

Survey and Map by: Susan M. Anacker, Professional Land Surveyor  
Susan M. Anacker, L.S. Lic # 5032111082 Davis Road East, Deerfield, New York 13502  
(315) 724-6800

22-09

Remaining Lands of  
Montgomery County Industrial  
Development AgencyEdward Pigliavento, Jr. and  
Michael Pigliavento Rental  
Partnership  
Instr. #2020-87557  
April 6, 2020

TOTAL AREA SURVEYED = 21.47 ACRES

To  
This is to certify that this map or plot and the survey on which it is  
based were made in accordance with the 2021 Minimum Standard Detail  
Requirements for ALTA/NSPS Title Surveys, jointly established and adopted  
by ALTA and NSPS, and includes items  
1,2,3,4,5,6,7A,7B,7C,8,9,11A,11B,13,16 & 17 of Table A thereof. The  
field work was completed on March 24, 2022.

## PRELIMINARY

Susan M. Anacker  
Land Surveyor Number: 50321  
In the State of New York  
Date of Plat or Map: April 25, 2022Survey Performed By: Susan M. Anacker, Professional Land Surveyor, PLLC  
11082 Davis Road East  
Deerfield, NY 13502  
315 724 6800  
sue@susanmonackerpls.com  
www.susanmonackerpls.com

PRELIMINARY

ORIGINAL STAMPED IN RED INK

SHEET 1 OF 2

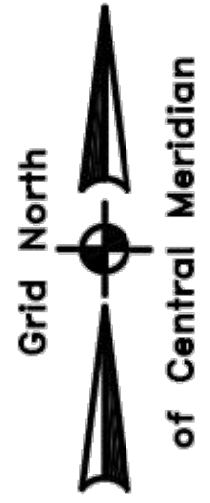


TABLE A ITEMS

1.   X   Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner.
2.   X   The E911 address of the surveyed property is Florida Park Extension, STHWY 55, Amsterdam, NY 12010.
3.   X   Flood zone classification (with proper annotation based on federal Flood Insurance Rate Maps or the state or local equivalent) depicted by scaled map location and graphic plotting only.
4.   X   Gross land area is 21.47 acres.
5.   X   Vertical relief with the source of information (e.g., ground survey, aerial map), contour interval, datum, with originating benchmark, when appropriate. To be completed upon snow melt.
6.   X   (a) If the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements specific to the surveyed property are set forth in a zoning report or letter provided to the surveyor by the client or the client's designated representative, list the above items on the plat or map and identify the date and source of the report or letter.  
  N/A   (b) If the zoning setback requirements specific to the surveyed property are set forth in a zoning report or letter provided to the surveyor by the clients of the client's designated representative and if those requirements do not require an interpretation by the surveyor, graphically depict those requirements on the plat or map and identify the date and source of the report or letter. (See Current Zoning Information Table)
7.   X   (a) Exterior dimensions of all building at ground level. At the time of the survey, no buildings were on the property.  
  X   (b) Square footage of: (1) exterior footprint of all buildings at ground level. At the time of the survey, no buildings were on the property.  
  N/A   (c) Square footage of: (2) other areas as specified by the client.
8.   X   (a) Measured height of all the buildings above grade at a location specified by the clients. If no location is specified, the point of measurement shall be identified. At the time of the survey, no buildings were on the property.
9.   X   Substantial features were observed in the process of conducting the fieldwork (in addition to the improvements and features required pursuant to Section 5 above) (e.g., parking lots, billboards, signs, swimming pools, landscaped areas, substantial areas of refuse).
10.   X   Number and type (e.g., disabled, motorcycle, regular, and other marker specialized types) of clearly identifiable parking spaces on surface parking area, lots, and in parking structures. Striping of clearly identifiable parking spaces on surface parking areas and lots. At the time of the survey, no parking spaces were on the property.
11.   N/A   As designated by the client, a determination of the relationship and location of certain division or party walls with respect to adjoining properties.
12.   X   Evidence of underground utilities existing on or serving the surveyed property (in addition to the observed evidence of utilities required pursuant to Section 5.E.iv.) as determined by:  
  X   (a) plans and/or reports provided by client (with reference as the sources of information).  
  X   (b) markings coordinated by the surveyor pursuant to a private utility locate request.  
Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
13.   N/A   As specified by the client, Governmental Agency survey-related requirements (e.g., HUD surveys, surveys for leases on Bureau of Land Management managed lands). The relevant survey requirements are to be provided by the client or client's designated representative.
14.   X   Names of adjoining owners according to current tax records. If more than one owner, identify the first owner's name listed in the tax records followed by "et al." As shown.
15.   N/A   As specified by the client, distance to the nearest intersecting street.
16.   N/A   Rectified orthophotography, photogrammetric mapping, remote sensing, airborne/mobile laser scanning and other similar products, tools or technologies as the basis for the showing the location of certain features (excluding boundaries) where ground measurements are not otherwise necessary to locate those features to an appropriate and acceptable accuracy relative to a nearby boundary. The surveyor must (a) discuss the ramifications of such methodologies (e.g., the potential precision and completeness of the data gathered thereby) with the insurer, lender, and client prior to the performance of the survey, and (b) place a note on the face of the survey explaining the source, date, precision, and other relevant qualifications of any such data.
17.   X   No evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
18.   X   Proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction. Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork. As shown.
19.   N/A   Pursuant to Section 5 and 6 (and applicable selected Table A items, excluding Table A item 1), include as part of the survey any plottable offsite (i.e., appurtenant) easements disclosed in documents provided to or obtained by the surveyor.
20.   N/A   Professional Liability insurance policy obtained by the surveyor in the minimum amount of \$ \_\_\_\_\_ to be in effect throughout the contract term. Certificate of Insurance to be furnished upon request, but this item shall not be addressed on the face of the plat or map.

NOTES

Underground utilities exist on this parcel. Due to their unknown underground location they are subject to field verification. Call "UDIG NY" @ 811 at least two (2) working days prior to any digging.

Only observed utilities shown are from field evidence found and located. Also historical mapping provided by The Town of Florida and UDIG NY were available for use.

Horizontal datum is based on NAD83.  
The New York State Coordinate System is in Eastern Zone.

Contour interval = 1.0'.

FLOOD ZONE

Said described property is located within an area having a Zone Designation X by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 36057C0184E & 36057C0195E, with a date of identification of January 19, 2018, for Community Number 360445, Montgomery County, State of New York, which is the current Flood Insurance Rate Map for the community in which said property is situated.

SURVEY DESCRIPTION

New York State Route 55  
All that piece or parcel of land situate at New York State Route 55, Town of Florida, County of Montgomery, State of New York bounded and described as follows:  
Beginning at a point in the northeasterly boundary of an existing Town Road (New York State Route 55) as shown on an appropriation for New York State Route 55 as shown on Fultonville-Amsterdam, Pt. 2, Map No. 10 A,B by New York State Department of Public Works, dated April 30, 1928 and on file in the N.Y.S. D.O.T., Region 2, Utica, N.Y., at its intersection with the remaining lands of Montgomery County Industrial Development Agency (Instrument Number 2009-00032873) on the west and the property herein described on the east, said point being S 76° 08' 25" E, 451.61 feet, from a capped iron rod found in the Southwest Corner of the lands of Douglas C. Burroughs and Joann Burroughs as Trustee of the Burroughs Family Irrevocable Trust-2009 (Instr. #2009-00032838), said point being the point of beginning, Thence the following seven courses and distances through the remaining lands of the above referenced Montgomery County Industrial Development Agency:  
N 13° 47' 42" E, 625.37 feet to a point,  
S 75° 58' 35" E, 63.93 feet to a point,  
S 83° 02' 39" E, 51.45 feet to a point,  
N 85° 08' 11" E, 158.20 feet to a point,  
N 66° 13' 24" E, 56.10 feet to a point,  
N 13° 35' 11" E, 131.13 feet to a point, and  
N 48° 59' 49" E, 43.87 feet to a point in the line between the lands of Mark E. Quiri (Instrument Number 2005-00004478) on the northeast and the property herein described on the southwest; Thence S 52° 04' 48" E along the lands of the said Quiri 1148.81 feet to a point in the line between the lands of Bernard Mars and Kristin Mars (Liber 682 of Deeds at Page 164) on the east and the property herein described on the west; Thence S 10° 44' 04" W along the lands of the said Mars 470.00 feet to a point in the northeasterly boundary of the above referenced New York State Route 55, said point also being shown on the above referenced appropriation for New York State Route 55; Thence the following ten courses and distances along the said New York State Route 55:  
N 79° 40' 25" W, 127.37 feet to a point,  
On a curve to the right having a radius of 1401.00 feet, an arc length of 283.45 feet, and a delta angle of 11° 35' 32" to a point,  
N 68° 18' 16" W, 390.01 feet to a point,  
On a curve to the right having a radius of 1261.00 feet, an arc length of 101.25 feet, and a delta angle of 04° 35' 58" to a point,  
N 29° 01' 18" E, 188.24 feet to a point,  
N 62° 51' 00" W, 10.00 feet to a point,  
S 28° 58' 05" W, 190.00 feet to a point,  
On a curve to the right having a radius of 1261.00 feet, an arc length of 104.77 feet, and a delta angle of 04° 45' 37" to a point,  
N 78° 26' 55" W, 212.08, feet to a point, and  
On a curve to the right having a radius of 5697.00 feet, an arc length of 184.31 feet, and a delta angle of 01° 51' 13" to the point of beginning, containing 21.47 acres.  
All bearings are referred to Grid North of Central Meridian.  
Being a part of the premises conveyed to Montgomery County Industrial Development Agency by deed recorded June 11, 2009 in the Montgomery County Clerk's Office as Instrument Number 2009-00032873.

TITLE REPORT ITEMS

Referencing Title Number NLT-32778A-MONT-22 by Stewart Title Insurance Company, Effective Date: 3/7/2022 Schedule B:

9.) Grant of Easement made by Montgomery County Industrial Development Agency to Niagara Mohawk Power Corporation dated 9/16/2010, recorded 10/13/2020 in Instrument No. 2010-3966. Does Not Affect Property

10.) Easement agreement made by Montgomery County Industrial Agency and Town of Florida dated 3/30/2010, recorded 12/29/2010 in Instrument No. 2010-40635. Does Not Affect Property

11) Grant of Easement made by Montgomery County Industrial Development Agency to Niagara Mohawk Power Corporation dated 4/4/2017, recorded 5/15/2017 in Instrument No. 2017-72960. Shown as plotted

12) Grant of Easement made by Montgomery County Industrial Development Agency to Niagara Mohawk Power Corporation dated 4/4/2017, recorded 5/15/2017 in Instrument No. 2017-72960. Does Not Affect Property

Items 1-8, and 13 are not survey matters.

Current Zoning Information

Source of Information: Town of Florida Website			
Name of Contact: Emily Staley			
Address: 214 Fort Hunter Road, Amsterdam, NY 12010			
Phone: 518-843-6372		Fax: N/A	Email: emilystaley.tofclerk@outlook.com
Zoning District(s): Industrial Business Park (IBP)			
Building Setback Requirements			
	Existing	Required/Allowed	Notes
Front Setback	0'	50'	
Side Setback	0'	One: 20' Both: 50'	
Rear Setback	0'	30'	
Parking Requirements: None			
Height Restrictions: None			
Floor Space Area Restrictions: None			

ALTA/NSPS  
Land Title Survey

of property of  
**MONTGOMERY COUNTY**  
**INDUSTRIAL DEVELOPMENT AGENCY**

T.M. #54.-2-2.31 (part of)  
TOWN OF FLORIDA, COUNTY OF MONTGOMERY  
STATE OF NEW YORK  
Dated: April 25, 2022 Scale: 1" = 80'  
Drawn By: Katrina Talbot

Survey and Map by: Susan M. Anacker, Professional Land Surveyor  
Susan M. Anacker, L.S. Lic # 50321  
11082 Davis Road East, Deerfield, New York 13502  
(315) 724-6800

SHEET 2 OF 2

22-09

DOLLAR GENERAL

DOLLAR GENERAL  
CORPORATION  
100 MISSION RIDGE  
GOODLETTSVILLE, TN 37072

PROJECT

COLD STORAGE  
WAREHOUSE  
20XX NY HWY 55  
AMSTERDAM, NEW YORK

SHEET INDEX

SITE PLAN  
REVIEW  
09/01/2022

ISSUE	DATE
SITE PLAN REVIEW	09/01/2022

SUSAN M.  
ANACKER  
Professional Land Surveyor, PLLC

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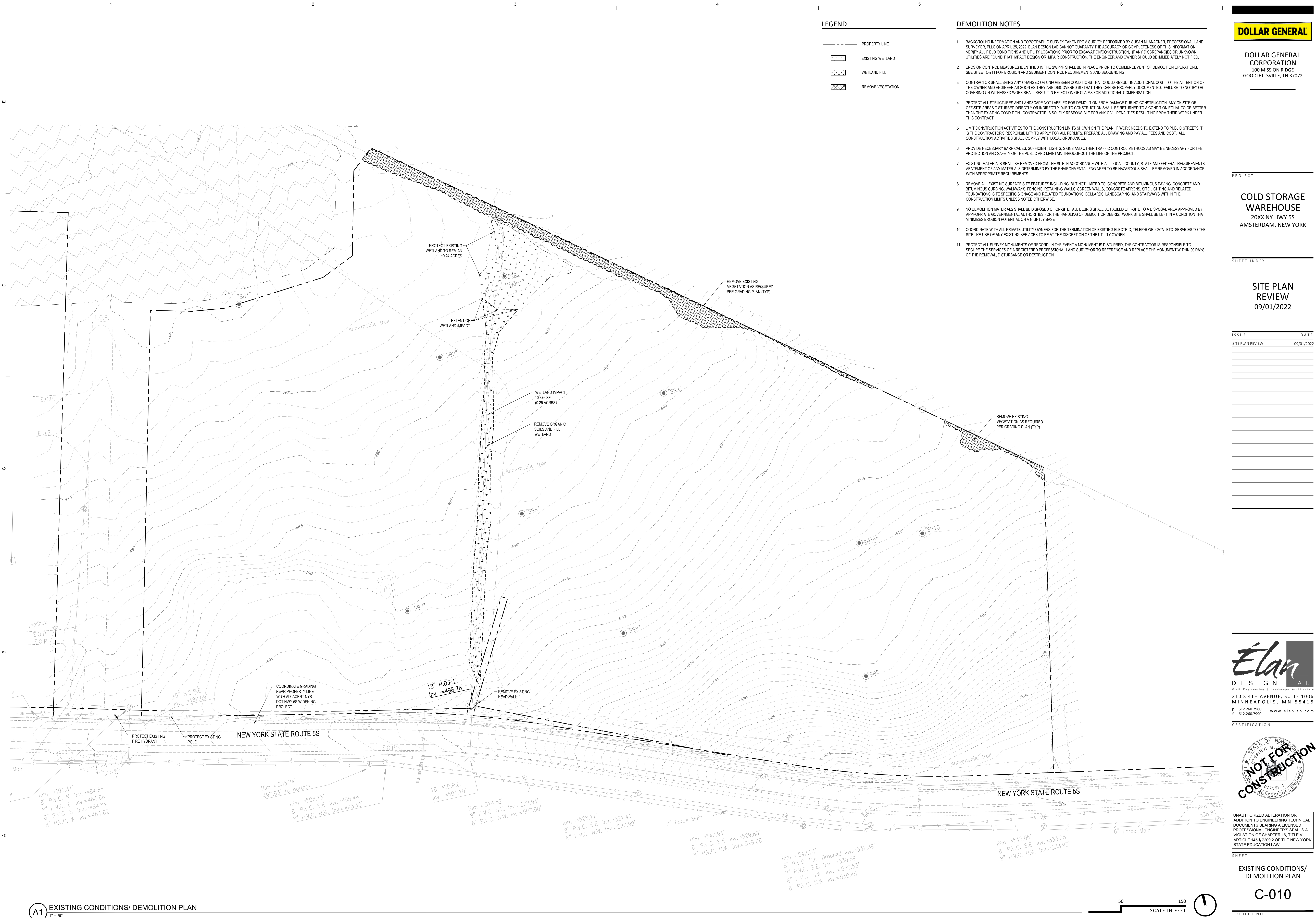
SHEET

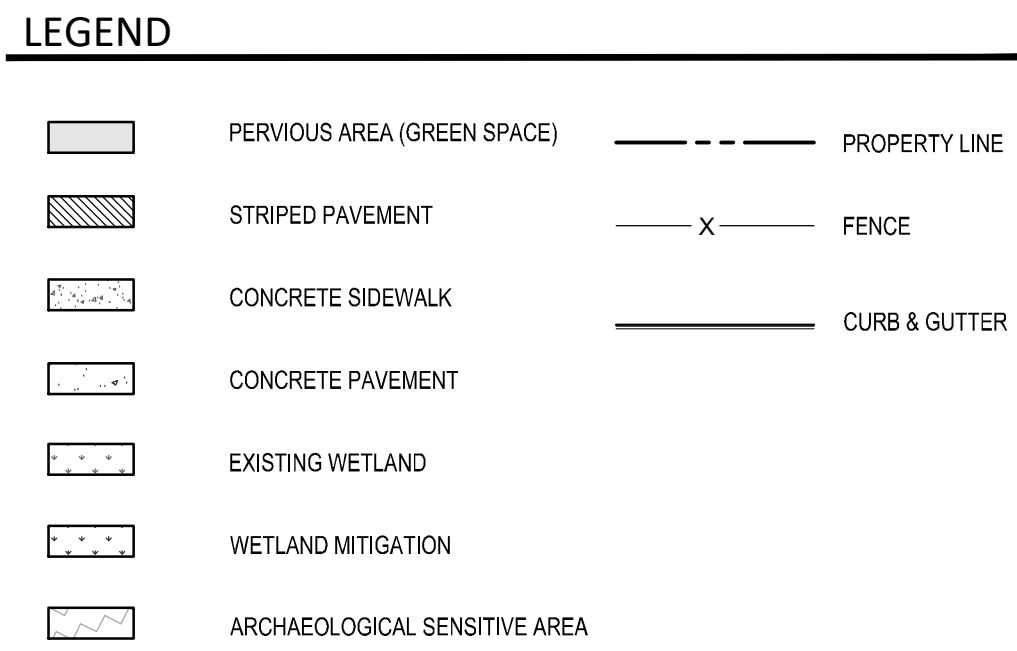
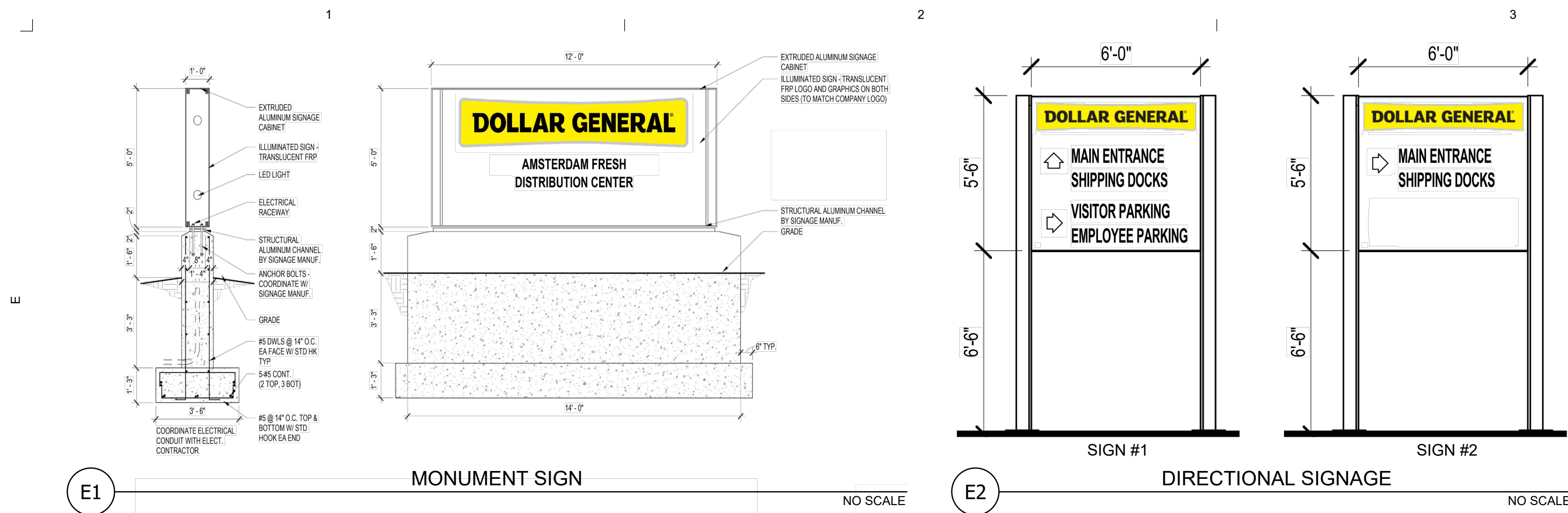
ALTA SURVEY  
SHEET 2 OF 2

C-002

PROJECT NO.

DGC20025





#### SITE PLAN NOTES

- DIMENSIONS SHOWN ON THIS PLAN ARE TO THE PROPERTY LINE, EDGE OF PAVEMENT, FACE OF CURB AND BUILDING FACE.
- SEE SHEET 001-01-001.04 FOR CONCRETE PAVEMENT LOCATIONS.
- ALL PARKING STALLS TO BE PAINTED WITH A 4" WIDE YELLOW STRIPE. ACCESSIBLE ROUTES AND ACCESS AISLES TO BE PAINTED WITH A 6" YELLOW PERIMETER BORDER AND 4" WIDE STRIPE, 18" ON CENTER, AND 45 DEGREES TO STALL. ACCESSIBLE STALL PAVEMENT MARKING SHALL BE PAINTED YELLOW 4" WIDE.
- PROVIDE PAINT SYMBOLS AND SIGNAGE AT ACCESSIBLE PARKING SPACES.
- PROVIDE PAINT SYMBOLS FOR DIRECTIONAL ARROWS.
- REFER TO THE SITE PLANS, 001-01-001.04 FOR DIMENSIONS AND LOCATION OF SITE FEATURES.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO CONFORM WITH THE CORRECT LINES AND FINISHED GRADES ON THE PLANS. NO PONDING OF WATER WILL BE ALLOWED.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO MATCH EXISTING PAVEMENT GRADES AT THE IN POINTS.
- REFER TO SHEET 001-01-001.04 FOR PAVEMENT FOR JOINTING PLANS.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO CONFORM WITH THE CORRECT LINES AND FINISHED GRADES ON THE PLANS. NO PONDING OF WATER WILL BE ALLOWED.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO MATCH EXISTING PAVEMENT GRADES AT THE IN POINTS. CUT CONTRACTION JOINTS AT EXISTING JOINT LOCATIONS.
- CONTINUE ALL JOINTS THROUGH THE CURB.
- SAW ALL CONCRETE CONSTRUCTION JOINTS, CLEAN THEM OF DEBRIS, BLOW THEM DRY AND IMMEDIATELY SEAL WITH JOINT SEALANT.
- REINFORCE ODD SHAPED PAVING PANELS WITH #3 BARS AT 24" EACH WAY. AN ODD SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 3 TO 1 OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR.
- CONTRACTOR SHALL PLACE EXPANSION JOINT AT ALL EXTERIOR CONCRETE WORK AT THE END OF A DAY'S POUR.
- ENSURE POSITIVE DRAINAGE AT ALL PAVEMENT REPLACEMENT LOCATIONS.
- SEE ELECTRICAL SITE PLANS FOR LIGHTING LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR LOCATIONS OF STAIRS, BALERS, BOLLARDS, COMPACTORS, BOLLARDS, MONUMENT SIGN AND DIRECTIONAL SIGNAGE.

#### PROJECT SUMMARY

ZONING : INDUSTRIAL BUSINESS PARK (BP)

BUILDING SETBACKS, FRONT, SIDE, AND REAR = 50 FEET

PARKING SETBACK = 10 FEET

SITE AREA	935,375 SF	21.47 AC.
DEDICATED ROW	5,268 SF	0.12 AC.
ADJUSTED SITE AREA	930,107 SF	21.35 AC.
WAREHOUSE BLDG	167,500 SF	3.84 AC.
SUPPORT BUILDINGS	3,090 SF	0.07 AC.
PAVEMENT, WALKS AND MISC. IMPERVIOUS	378,466 SF	8.69 AC.
PERVIOUS INCLUDING STORM WATER AREAS, AND WETLANDS	381,051 SF	8.75 AC.

PERCENT PAVEMENT	40.3%
PERCENT PERVIOUS	41.0%

REQUIRED PARKING:

INDUSTRIAL = 1 SPACE FOR EACH TWO EMPLOYEES ON MAXIMUM WORKING SHIFT

ADMINISTRATION = 1 SPACE PER 400 SF

TOTAL REQUIRED = 441 SPACES (ADMIN) + 120 EMPLOYEES / 2 = 100 STALLS

PARKING PROVIDED:

EMPLOYEE PARKING 9' X 20' (TYP.)

EMPLOYEE PARKING 8' X 16' (TYP. AT CURB)

EMPLOYEE ACCESSIBLE

TOTAL PASSENGER VEHICLES

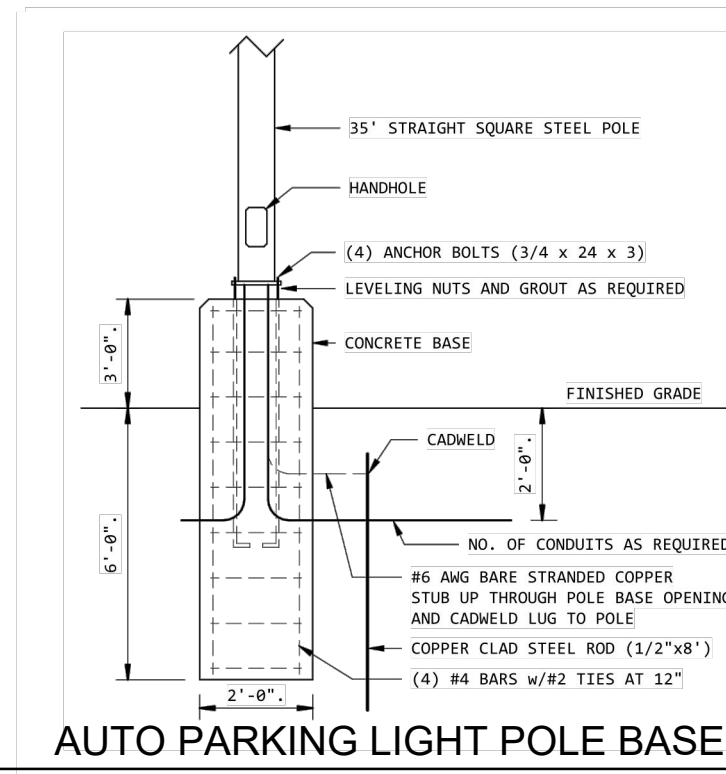
TRACTOR PARKING 12' X 30' (TYP.)

TRAILER PARKING 54' X 12' (TYP.)

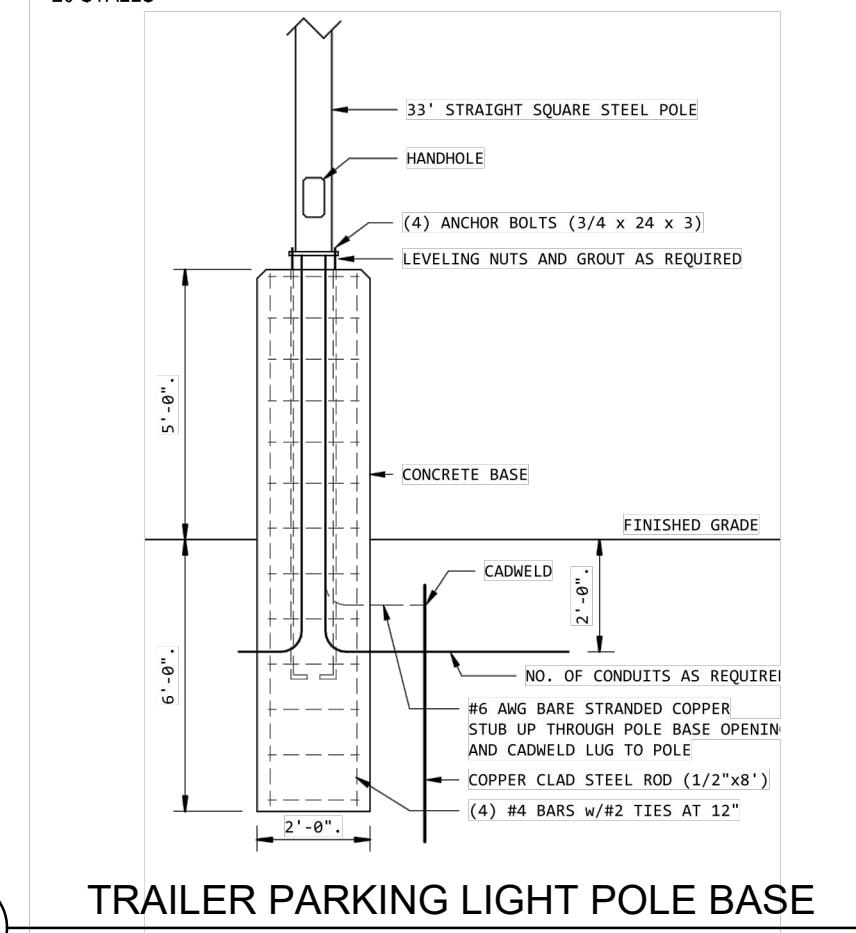
DOCKS

84 STALLS
56 STALLS
5 STALLS (5 VAN)
145 STALLS

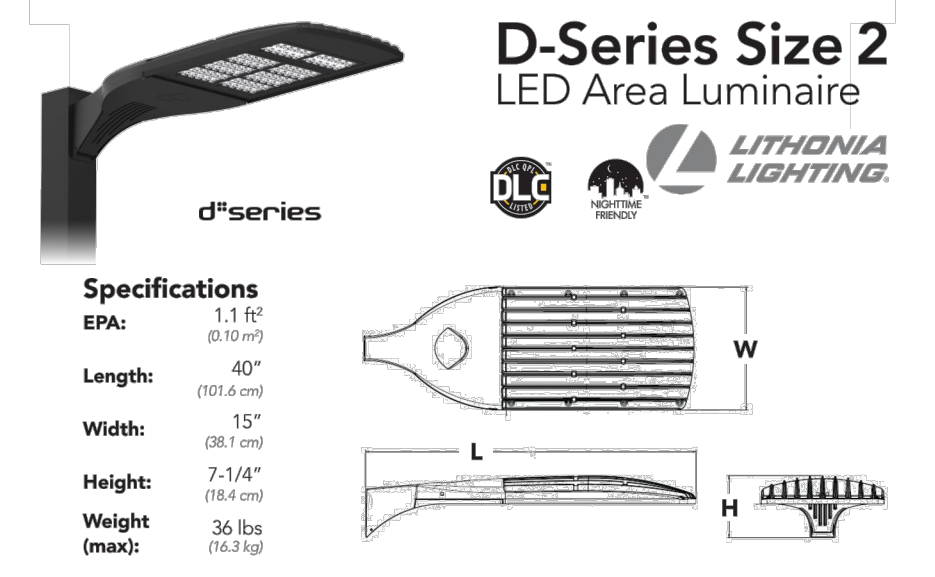
20 STALLS
126 STALLS
26 STALLS



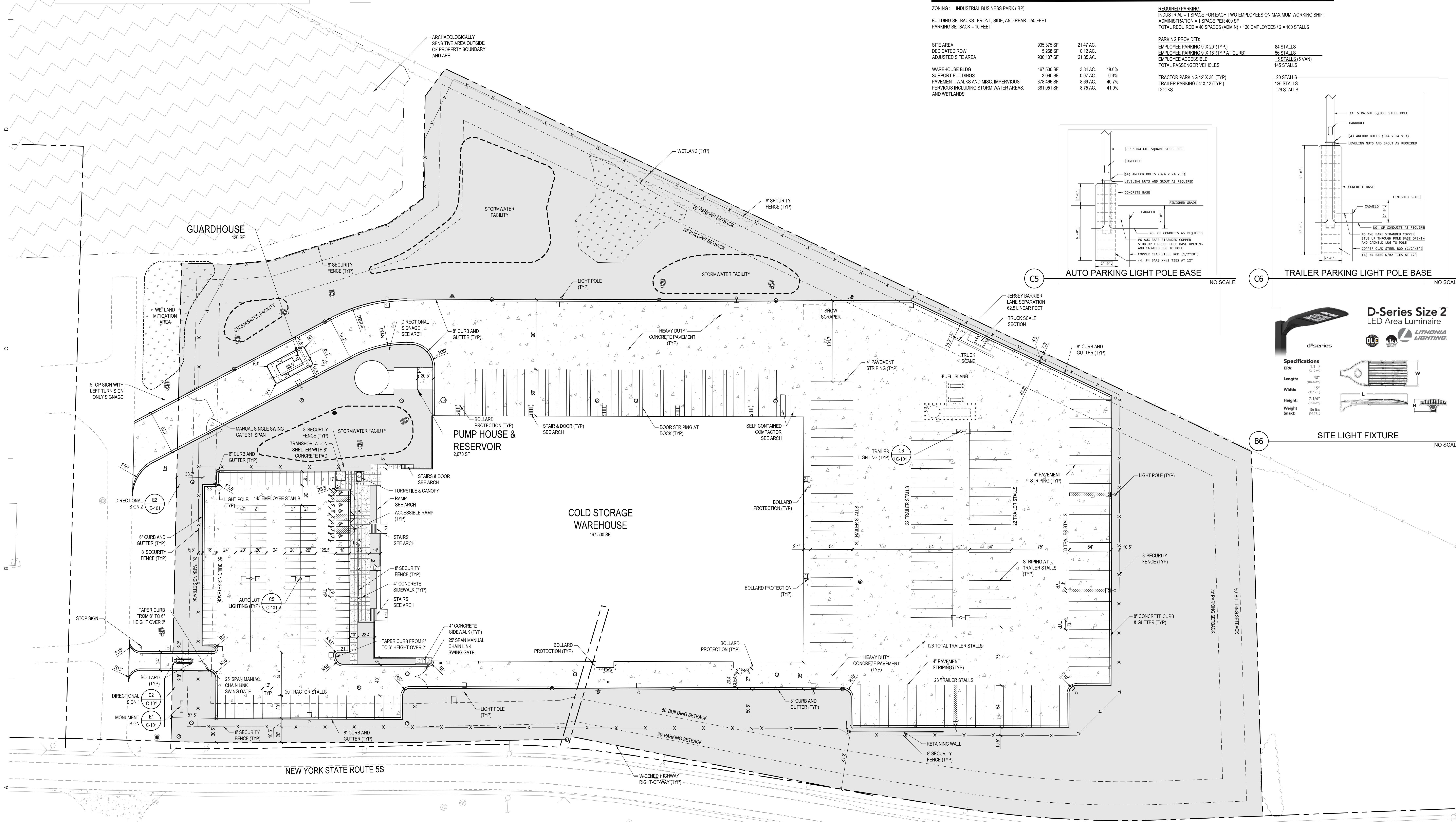
C5 AUTO PARKING LIGHT POLE BASE NO SCALE



C6 TRAILER PARKING LIGHT POLE BASE NO SCALE



B6 SITE LIGHT FIXTURE NO SCALE



	EXISTING	PROPOSED
IMPERVIOUS		
BUILDING	0.00 ACRES	3.92 ACRES
PAVEMENT	0.00 ACRES	8.82 ACRES
TOTAL IMPV	0.00 ACRES	12.24 ACRES
STORMWATER AREA	0.00 ACRES	0.95 ACRES
WETLANDS	0.49 ACRES	0.70 ACRES
PERVIOUS	21.72 ACRES	9.48 ACRES
TOTAL	21.72 ACRES	21.72 ACRES

1066	MINOR PROPOSED CONTOUR
1065	MAJOR PROPOSED CONTOUR
1069	MINOR EXISTING CONTOUR
1100	MAJOR EXISTING CONTOUR
<<	STORM SEWER
W	DOMESTIC WATERMAIN
F	FIRE MAIN
	NATURAL GAS
COMM	TELECOM/DATA
UE	UNDERGROUND ELECTRIC
966.3 ± MATCH	MATCH EXISTING
966.35 HP	HIGH POINT
966.35 LP	LOW POINT
966.35 TC	TOP OF CURB
966.35 TW	TOP OF WALL
966.35 BW	BOTTOM OF WALL

1. CONTRACTOR SHALL UTILIZE THE DIGITAL FILE SUPPLIED BY THE ENGINEER FOR LAYOUT.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSESSING THE STABILITY OF AND EXECUTING PROJECT EXCAVATIONS USING SAFE METHODS. CONTRACTOR IS ALSO RESPONSIBLE FOR NAMING THE "COMPETENT INDIVIDUALS" AS PER SUBPART P OF CFR 1926.6 (FEDERAL REGISTER - OSHA)
3. THE TOP OF ALL EXCAVATIONS LEFT OPEN OVERNIGHT SHALL BE MARKED WITH ORANGE SAFETY FENCE.
4. CONTRACTOR, SUB-CONTRACTORS, SUPERVISORY PERSONNEL AND OPERATORS MUST ALL READ, UNDERSTAND AND FOLLOW THE TEXT OF THE EROSION AND SEDIMENT CONTROL PLAN, SHEET 002.20. THERE IS CRITICAL INFORMATION ON THAT PLAN THAT EFFECTS GRADING CONSTRUCTION.
5. SUFFICIENT HIGH QUALITY TOPSOIL SHALL BE PRESERVED TO INSTALL 12 INCHES OVER ALL GREENSPACES OF THE SITE.
6. CONSTRUCTION LIMITS: THE CONSTRUCTION LIMITS ARE TO BE ESTABLISHED WITH A PERIMETER SILT FENCE AS SHOWN.
7. INGRESS AND EGRESS TO THE SITE SHALL AT ALL TIMES BE LIMITED TO THE CONSTRUCTION ENTRANCE FROM NY STATE ROAD 88
8. NO GRADING SHALL OCCUR WITHIN WETLAND. CONTRACTOR SHALL STAKE AND PROTECT LIMITS PRIOR TO ANY EARTH MOVING.

DOLLAR GENERAL  
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100 MISSION RIDGE  
GOODLETTSVILLE, TN 37072

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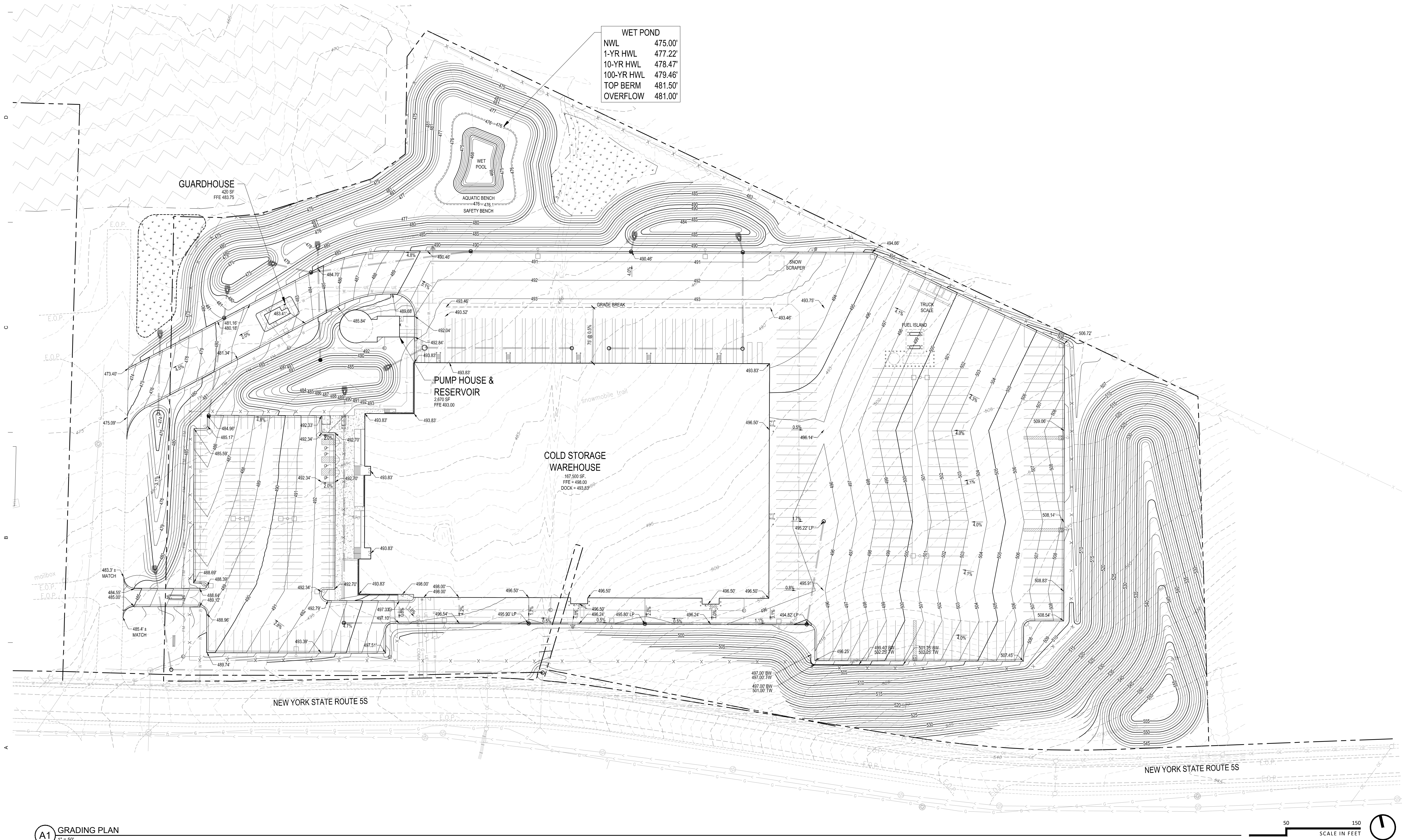
## CERTIFICATION



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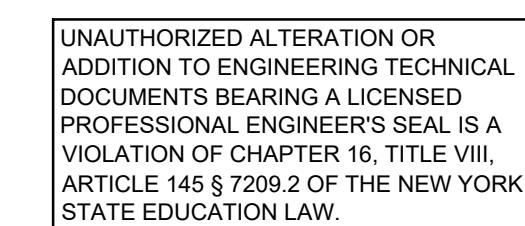
C-201

PROJECT NO.  
DGC20025



**COLD STORAGE  
WAREHOUSE**  
20XX NY HWY 55  
AMSTERDAM, NEW YORK

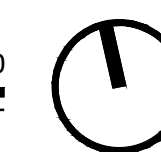
SITE PLAN  
REVIEW  
09/01/2022

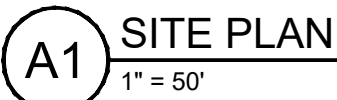
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EROSION & SEDIMENT  
CONTROL PLAN

C-211

PROJECT NO. DGC20025





**SITE PLAN**  
1" = 50'

$$1^\circ = 50'$$

1. VERIFY ALL CONNECTIONS TO EXISTING UTILITY SERVICES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN LOCATED UTILITIES AND THE EXISTING CONDITIONS PLAN SHOULD BE NOTED AND FORWARDED TO THE ENGINEER.
2. ALL CONNECTIONS TO PUBLIC UTILITIES TO BE IN ACCORDANCE WITH THE CITY OF ALBANY STANDARD SPECIFICATIONS.
3. CONTRACTOR TO PROVIDE ADEQUATE MEANS AND METHODS TO ASSURE ADJACENT PROPERTY IS NOT DAMAGED DURING UTILITY INSTALLATION.
4. PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
5. VERIFY BUILDING SERVICE LOCATIONS AND INVERTS WITH THE MECHANICAL AND PLUMBING PLANS PRIOR TO COMMENCING UTILITY CONSTRUCTION.
6. PIPE MATERIALS:

STORM SEWER	SCHEDULE 40 OR SDR 26 PVC OR CLASS III RCP
WATERMAIN	
DOMESTIC	SCHEDULE 80 OR 9000 PVC DR 18
OR 14	9000 PVC DR 14
SANITARY	SCHEDULE 80 PVC DR 18
7. ALL UTILITY CONSTRUCTION TO CONFORM WITH STATE OF NEW YORK AND CITY OF ALBANY STANDARD SPECIFICATIONS.
8. ADJUST ALL STRUCTURES, PUBLIC AND PRIVATE, TO PROPOSED GRADES WHERE DISTURBED. COMPLY WITH ALL REQUIREMENTS OF UTILITIES OWNERS. STRUCTURES BEING RESET TO PAVED AREAS TO MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
9. WATER AND FIRE LINES SHALL HAVE A MINIMUM 36" OF COVER.

10. PROVIDE ADDITIONAL BENDS WITH THRUST RESTRAINT AND OTHER APPURTENANCES TO ENSURE PROPER INSTALLATION OF WATER MAIN AND SERVICES.
11. PROVIDE MECHANICAL THRUST RESTRAINT OR THRUST BLOCKS AT ALL WATER AND FIRE LINE BENDS, TEES, HYDRANTS, ETC.
12. COORDINATE LOCATIONS OF CONDUITS NEEDED FOR SITE LIGHTING WITH ELECTRICAL CONTRACTORS. SEE ELECTRICAL PLAN FOR ADDITIONAL SITE ELECTRICAL INFORMATION. CONDUIT SHOULD BE ROUTED TO AVOID EXISTING TREES AND STORMWATER FACILITIES.
13. THE PRIMARY ELECTRIC, TRANSFORMER, AND METER PROVIDED AND INSTALLED BY POWER COMPANY.
14. COORDINATE INSTALLATION AND DESIGN OF GAS MAIN, VALVE AND METERS WITH GAS COMPANY. CONTRACTOR TO TRENCH AND BACKFILL GAS MAIN TO HAVE MINIMUM 24" OF COVER.
15. COORDINATE INSPECTION AND TESTING FOR ALL UNDERGROUND UTILITIES WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES.
16. ALL STORM AND SANITARY GRASSES/COVERS AND FRAMES LISTED ON THE PLANS ARE NENAH FOUNDRY OR APPROVED EQUAL.
17. ALL COMMUNICATIONS AND ELECTRICAL INFORMATION IS SCHEMATIC AND FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF EQUIPMENT AND LINES WITH ELECTRICAL PLANS.
18. CONTRACTOR SHALL PROVIDE AS-BUILT'S FOR DOMESTIC WATER, FIRE MAIN, SANITARY SEWER AND STORM SEWER INCLUDING ALL STRUCTURES, APPURTENANCES, RIM ELEVATIONS, INVERTS, PIPE SIZE, SLOPE, AND MATERIAL TYPE.

	STORM SEWER
	SANITARY SEWER
	DOMESTIC WATERMAIN
	FIRE MAIN
	NATURAL GAS
	TELECOMM/DATA
	UNDERGROUND ELECTRIC
	RIGHT OF WAY
	CATCH BASIN MANHOLE (CBMH)
	STORM MANHOLE (STMH)
	FLARED END SECTION (FES)
	SANITARY MANHOLE (SMH)
	FIRE HYDRANT
	GAS OR WATER VALVE
	FIRE DEPARTMENT CONNECTION

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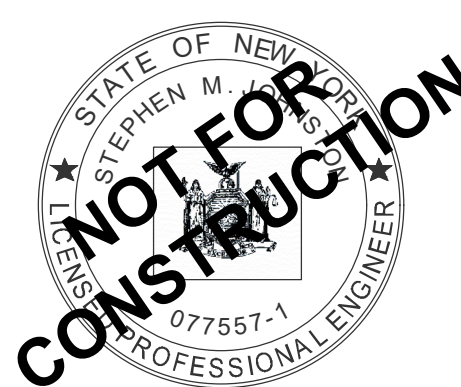
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**Elan**  
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CERTIFICATION

## CERTIFICATION



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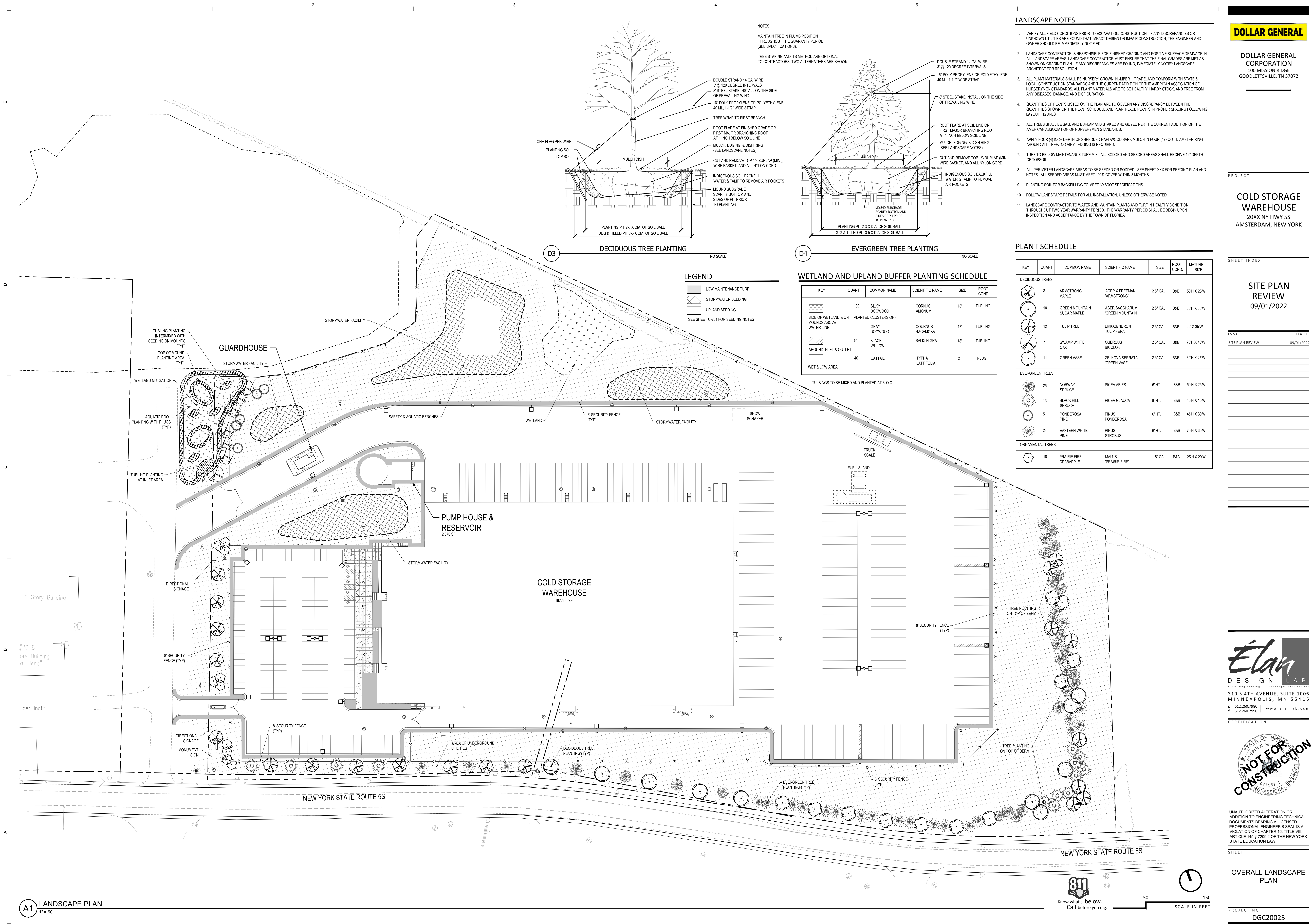
HEET

## UTILITY PLAN

C-301

PROJECT NO. \_\_\_\_\_

DGC20025



- LANDSCAPE NOTES**
- VERIFY ALL FIELD CONDITIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
  - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE MET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION.
  - ALL PLANT MATERIALS SHALL BE NURSERY GROWN, NUMBER 1 GRADE, AND CONFORM WITH STATE & LOCAL CONSTRUCTION STANDARDS AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK AND FREE FROM ANY DISEASES, DAMAGE, AND DISFIGURATION.
  - QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
  - ALL TREES SHALL BE BALL AND BURLAP AND STAKED AND GUYED PER THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  - APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN FOUR (4) FOOT DIAMETER RING AROUND ALL TREE. NO VINYL EDGING IS REQUIRED.
  - TURF TO BE LOW MAINTENANCE TURF MIX. ALL SODDED AND SEEDING AREAS SHALL RECEIVE 12" DEPTH OF TOPSOIL.
  - ALL PERIMETER LANDSCAPE AREAS TO BE SEEDING OR SODDED. SEE SHEET XXX FOR SEEDING PLAN AND NOTES. ALL SEEDING AREAS MUST MEET 100% COVER WITHIN 3 MONTHS.
  - PLANTING SOIL FOR BACKFILLING TO MEET NYS DOT SPECIFICATIONS.
  - FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
  - LANDSCAPE CONTRACTOR TO WATER AND MAINTAIN PLANTS AND TURF IN HEALTHY CONDITION THROUGHOUT TWO YEAR WARRANTY PERIOD. THE WARRANTY PERIOD SHALL BE BEGUN UPON INSPECTION AND ACCEPTANCE BY THE TOWN OF FLORIDA.

**PLANT SCHEDULE**

KEY	QUANT.	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT COND.	MATURE SIZE
DECIDUOUS TREES						
[Symbol]	8	ARMSTRONG MAPLE	ACER X FREEMANI ARMSTRONG	2.5" CAL.	B&B	50H X 25W
[Symbol]	10	GREEN MOUNTAIN SUGAR MAPLE	ACER SACCHARUM 'GREEN MOUNTAIN'	2.5" CAL.	B&B	55H X 35W
[Symbol]	12	TULIP TREE	LIRIODENDRON TULIPIFERA	2.5" CAL.	B&B	60' X 35W
[Symbol]	7	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	B&B	70H X 45W
[Symbol]	11	GREEN VASE	ZELKOVA SERRATA 'GREEN VASE'	2.5" CAL.	B&B	60H X 45W
EVERGREEN TREES						
[Symbol]	25	NORWAY SPRUCE	PICEA ABIES	6" HT.	B&B	50H X 25W
[Symbol]	13	BLACK HILL SPRUCE	PICEA GLAUCA	6" HT.	B&B	40H X 15W
[Symbol]	5	PONDEROSA PINE	PINUS PONDEROSA	6" HT.	B&B	45H X 30W
[Symbol]	24	EASTERN WHITE PINE	PINUS STROBUS	6" HT.	B&B	70H X 35W
ORNAMENTAL TREES						
[Symbol]	10	PRAIRIE FIRE CRABAPPLE	MALUS 'PRAIRIE FIRE'	1.5" CAL.	B&B	25H X 20W

**DOLLAR GENERAL**

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**SITE PLAN REVIEW**  
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**CERTIFICATION**  
NOT FOR CONSTRUCTION  
STATE OF NEW YORK  
STEPHEN M. ELAN  
977557-1  
PROFESSIONAL ENGINEER

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**OVERALL LANDSCAPE PLAN**

**PROJECT NO.**  
DGC20025